



AGENDA
City of CHOWCHILLA
REGULAR PLANNING COMMISSION MEETING
Council Chambers, Chowchilla City Hall
130 S. 2nd Street, Chowchilla, CA 93610
January 21, 2026 | 5:00 PM

Agendas for all Planning Commission meetings are posted at least 72 hours prior to the meeting at the Civic Center, 130 S. 2nd St. and on the City's website www.cityofchowchilla.org.

The City of Chowchilla complies with the Americans with Disabilities Act (ADA of 1990). The Council Chambers is accessible to the physically disabled. If you need special assistance, please call (559) 665-8615, ext. 102 at least 4 days prior to the meeting.

California Levine Act Statement:

California Government Code Section 84308, commonly referred to as the "Levine Act," prohibits any Chowchilla Planning Commissioner from participating in any action related to a license, permit, contract, or entitlement for use application if he or she receives any political contributions totaling more than \$500 within the previous twelve months, and for twelve months following the date of a final decision, from the business/board or applicant.

The Levine Act also requires a member of the Chowchilla Planning Commission who has received such a contribution to disclose the contribution on the record of the proceeding.

CALL TO ORDER/ROLL CALL

Chair:

Vice Chair: Cheryl Salter

Commissioners: Syp Vander Dussen, Gil Hale, Tricia Placencia, Michael Wallen

City staff and contract employees present at the meeting will be noted in the minutes.

CONSIDERATION OF APPROVAL OF AGENDA - Additions and/or Deletions:

OPEN SESSION – 5:00 PM

PLEDGE OF ALLEGIANCE

CEREMONIAL / PRESENTATIONS – Section 1

1.1 Planning Commission Reorganization – Election of Chair and Vice Chair

PUBLIC ADDRESS

This time is reserved for members of the audience to address the Planning Commission on items of interest that are not on the Agenda and that are within the subject matter jurisdiction of the Commission.

It is recommended that speakers limit their comments to **no more than 3 minutes** each and it is requested that no comments be made during this period on items on the Agenda.

Members of the public who are joining the meeting via Zoom and would like to address the Commission on items on the agenda should follow **the policy on page 3 of this agenda packet**.

The Planning Commission is prohibited by law from taking any action on matters discussed that are not on the Agenda. No adverse conclusions should be drawn if the Commission does not respond to public comment at this time.

COMMISSIONER AND STAFF VERBAL REPORTS – Section 2**2.1 Commissioner Verbal Reports****2.2 Staff Verbal Reports****CONSENT CALENDAR – Section 3**

All items listed under Consent Calendar are considered to be routine and will be enacted by one motion. For discussion of any Consent Item, it will be made a part of the Regular Agenda at the request of any member of the Planning Commission or any person in the virtual audience.

3.1 Approval of the May 21, 2025 Regular Planning Commission Meeting Minutes (McClendon)**PUBLIC HEARINGS – Section 4****4.1 Consideration and Adoption of Resolution No. 26-01 Approving Conditional Use Permit 25-0477 for the Construction of Two (2) Duplex Buildings Containing Four (4) Dwelling Units on an Approximately 0.31-Acre Parcel Located at Robertson Boulevard and 14th Street (Long)****DEFERRED BUSINESS – Section 5****NEW BUSINESS – Section 6****ANNOUNCEMENTS – Section 7**

❖ Next Regular Planning Commission Meeting is scheduled for February 18, 2026

ADJOURNMENT**PUBLIC NOTIFICATION**

I, Joann McClendon, City Clerk for the City of Chowchilla, declare under penalty of perjury that I posted the Regular Planning Commission Agenda at the Chowchilla Civic Center, 130 S. 2nd Street on/or before 4:00 p.m. on January 16, 2026.



Joann McClendon, CMC
City Clerk

ZOOM LOGIN INSTRUCTIONS

Use the following URL to start Zoom:

<https://us06web.zoom.us/j/89946165461?pwd=2CePE9pPPha5rGvNQvfOsvHtgAMb5v.1>

Passcode: **438 736**

To participate by phone:

Dial 1-669-444-9171

Webinar ID: **899 4616 5461**

Passcode: **438 736**

Staff highly recommends that participants log into Zoom 15 minutes before the meeting begins to perform an audio check and ensure they have an optimal internet connection.

Options to participate / view / listen to the meeting:

- If you wish to speak on an item using the Zoom platform on your computer/laptop or smartphone, please use the “raise hand” icon, and you will be unmuted when it is your turn to speak. Please provide your name when unmuted. You can address the Board for up to 3 minutes.
- If you are calling into the meeting only (no camera/video) and wish to comment, press *9 to “raise your hand” and *6 to unmute yourself.



MINUTES City of CHOWCHILLA REGULAR PLANNING COMMISSION MEETING

Council Chambers, Chowchilla City Hall
130 S. 2nd Street, Chowchilla, CA 93610

May 21, 2025 | 5:00 PM

CALL TO ORDER/ROLL CALL

Chair: -

Vice Chair: Cheryl Salter

Commissioners: Syp Vander Dussen, Gil Hale, Tricia Placencia

City staff and contract employees present at the meeting: Community & Economic Development Director Jaime Quintana, Community & Economic Development Specialist Janae Lacey, IT System Administrator Carlos Berrocal, City Clerk Joann McClendon

- **CONSIDERATION OF APPROVAL OF AGENDA**
Additions and/or Deletions: None.

OPEN SESSION

- **PLEDGE OF ALLEGIANCE**

CEREMONIAL / PRESENTATIONS – Section 1

1.1 **Oath of Office:** Michael Wallen

PUBLIC ADDRESS

None.

COMMISSIONER AND STAFF VERBAL REPORTS – Section 2

2.1 **Commissioner Verbal Reports**

2.2 **Staff Verbal Reports**

CONSENT CALENDAR – Section 3

3.1 **Approval of the March 19, 2025 Regular Planning Commission Meeting Minutes (McClendon)**

Motion by Commissioner Hale, Seconded by Commissioner Vander Dussen to Approve the Consent Calendar as Presented. Motion passed unanimously by roll call vote.

PUBLIC HEARINGS – Section 4**4.1 Consideration and Approval of a Planning Commission Resolution to Recommend that the City Council Approve Chapter 18 Zone Text Amendments #25-0094 and General Plan Amendments #25-0094 to Implement 19 Programs Within the City's Adopted Housing Element and the Accompanied Notice of Exemption (Davis)**

Vice Chair Salter opened the public hearing at 5:08 PM.

Spoke: Bonique Emmerson

Vice Chair Salter closed the public hearing at 5:24 PM.

Motion by Commissioner Hale, Seconded by Commissioner Vander Dussen to Approve the Planning Commission Resolution to Recommend that the City Council Approve Chapter 18 Zone Text Amendments #25-0094 and General Plan Amendments #25-0094 to Implement 19 Programs Within the City's Adopted Housing Element and the Accompanied Notice of Exemption. Motion passed with Commissioner Placencia voting no.

DEFERRED BUSINESS – Section 5**NEW BUSINESS – Section 6****ANNOUNCEMENTS – Section 7**

❖ Next Regular Planning Commission Meeting is scheduled for June 18, 2025

ADJOURNMENT

Vice Chair Salter Adjourned the May 21, 2025 Planning Commission Meeting at 5:26 p.m.

ATTEST:

APPROVED:

Joann McClendon, CMC
City Clerk

Vice Chair Salter



REPORT TO THE PLANNING COMMISSION

Meeting of: Wednesday, January 21, 2026

AGENDA SECTION: Public Hearing

SUBJECT: Consideration and Adoption of a Planning Commission Resolution Approving Conditional Use Permit 25-0477 for the Construction of Two (2) Duplex Buildings Containing Four (4) Dwelling Units on an Approximately 0.31-Acre Parcel Located at Robertson Boulevard and 14th Street

PREPARED BY: Susan Long, Contract City Planner

ATTACHMENTS: Resolution & Conditions of Approval
Vicinity Map
Site Plan and Elevations
Environmental Determination

REVIEWED BY
ADMINISTRATOR ☒

REVIEWED BY
ATTORNEY ☒

REVIEWED BY
DIRECTOR ☒

STAFF RECOMMENDATION:

That the Planning Commission adopt a resolution approving the proposed construction of two (2) duplex residential buildings on Assessor Parcel Number (APN) 002-021-003, subject to the findings and conditions of approval contained in this report.

BACKGROUND:

The applicant proposes constructing two duplex buildings on an approximately 0.31-acre parcel located at Robertson Blvd and 14th Street. Each duplex would contain two residential units for a total of four (4) dwelling units.

Key project details include:

- **Building Type:** Two (2) duplexes, each one story
- **Total Units:** 4 residential units
- **Building Footprint:** Approximately 942sqft per duplex
- **Lot Area:** 0.31-acres

SITE AND SURROUNDING LAND USES

Direction	Existing Land Use	Zoning	General Plan Designation
North	Commercial	C-S	Service Commercial
South	Single-Family Residential	R-M-5	Medium Density Residential
East	Single-Family Residential	R-M-5	Medium Density Residential
West	Single-Family Residential	R-M-5	Medium Density Residential

The project site is currently vacant and has legal frontage on Robertson Boulevard and 14th Street.

ZONING AND GENERAL PLAN CONSISTENCY

The subject property is zoned R-M-5, which allows duplex or multifamily residential development subject to Conditional Use Permit approval. The General Plan designates the site as Medium Density Residential (2–8 du/ac), which supports the proposed residential density.

ENVIRONMENTAL REVIEW

Pursuant to the California Environmental Quality Act (CEQA), staff has determined that the project qualifies for a Categorical Exemption under Section 15303(b) and 15332 (New Construction of Small Structures/ Infill Development), as the project involves construction of two duplex buildings (four total dwelling units) in an urbanized area with available utilities and services.

FINDINGS

Before a conditional use permit can be approved, all the following findings shall be made by the reviewing authority as identified in Chapter 18.80.010 of the City's Municipal Code:

1. The proposed use would not impair the integrity and character of the zoning district in which it is to be located.

The proposed use is allowed within the zoning district after first securing approval of a conditional use permit. The only new construction on-site would be the creation of 2 duplexes creating four (4) residential units; therefore, the project would not impair the integrity and character of the Medium Density Residential Zone District.

2. The proposed use would be compatible with existing land uses and future permitted land uses within the zone district in which the proposed use is to be located.

The proposed use is allowed within the zoning district after first securing approval of a conditional use permit. The proposed use meets the intent of the Medium Density Zone district and would only include the creation of 2 duplexes creating four (4) residential units; therefore, the project would be compatible with existing land uses and future permitted land uses within the zone district.

3. The proposed use is consistent with the General Plan.

The proposed use is consistent with the City's Zoning Ordinance and General Plan.

4. There will not be significant effects upon the quality of the environment and natural resources.

The proposed use is exempt from CEQA guidelines pursuant to Exemption 15303(b) and 15332 (New Construction of Small Structures / Infill Development), as discussed above.

5. The proposed location, size, design, and operating characteristics of the proposed use would not be detrimental to the public interests, health, safety, convenience, or welfare of the city and that any incompatible impacts of the proposed use are mitigated by conditions of approval.

The proposed use is allowed within the zoning district after first securing approval of a conditional use permit. The proposed use would not be detrimental to the public interests, health, safety, convenience, or welfare of the City with incorporation of the proposed conditions of approval and compliance with the zoning district regulations.

ALTERNATIVES:

1. Approve the project as recommended.
2. Approve the project with modifications.
3. Deny the project, citing specific findings for denial.

PLANNING COMMISSION RESOLUTION NO. 26-01

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CHOWCHILLA
APPROVING CONDITIONAL USE PERMIT 25-0477 FOR THE CONSTRUCTION OF TWO (2)
DUPLEX BUILDINGS CONTAINING FOUR (4) DWELLING UNITS ON AN APPROXIMATELY
0.31-ACRE PARCEL LOCATED AT ROBERTSON BOULEVARD AND 14TH STREET**

WHEREAS, the applicant has submitted a Conditional Use Permit (CUP) application proposing the construction of two (2) one-story duplex buildings on an approximately 0.31-acre parcel located at Robertson Boulevard and 14th Street (APN: 002-021-003); and

WHEREAS, each duplex building would contain two (2) residential units, for a total of four (4) dwelling units on the site; and

WHEREAS, each duplex unit would have an approximate building footprint of 942 square feet, for a combined building footprint of approximately 3,750 square feet; and

WHEREAS, the project site is designated for Medium Density Residential under the City's General Plan and is zoned R-M-5, which permits duplex residential development subject to approval of a Conditional Use Permit; and

WHEREAS, the Planning Commission has reviewed the proposed project for consistency with applicable General Plan policies, zoning regulations, and development standards; and

WHEREAS, the project has been evaluated in accordance with the California Environmental Quality Act (CEQA), and it has been determined that the project is exempt pursuant to CEQA Guidelines Section 15303(b) / 15332; and

WHEREAS, a duly noticed public hearing was held on January 21, 2026, at which time all interested persons were given an opportunity to appear and be heard; and

WHEREAS, after consideration of the staff report, public testimony, and all evidence presented, the Planning Commission finds the proposed project to be in the best interest of the City, consistent with the General Plan, and compatible with surrounding land uses.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Chowchilla hereby approves CUP 25-0477 for the construction of two (2) one-story duplex buildings containing a total of four (4) dwelling units on an approximately 0.31-acre parcel located at Robertson Boulevard and 14th Street, subject to the Conditions of Approval attached hereto as Exhibit A and incorporated herein by reference.

PROVED, PASSED, AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF CHOWCHILLA THIS 21st DAY OF JANUARY 2025 BY THE FOLLOWING ROLL CALL VOTE:

AYES:

NOES:

ABSTAIN:

ABSENT:

APPROVED:

Vice Chair Cheryl Salter

ATTEST:

Joann McClendon, CMC, City Clerk

Conditions of Approval

1. The project shall comply with all provisions of Chapter 18 of the City of Chowchilla municipal code (Zoning Ordinance).
2. The Applicant shall be responsible for payment of all applicable City fees prior to issuance of building permits.
3. The Applicant shall be responsible for payment of any outstanding invoices prior to issuance of building permits.
4. The Applicant shall be responsible for coordination and payment of any school impact fees directly to the school districts. The developer shall submit proof of payment prior to issuance of building permits.
5. The Applicant shall have the caretaker residential plans reviewed and approved under the new building code prior to issuance of building permits.
6. Any new exterior lighting shall be directed downward to avoid light spillover onto adjacent properties.
7. Any new construction or addition of buildings in the future, beyond what's approved with this application, would be subject to additional entitlements at that time.
8. Each unit shall have its own address designation to distinguish between buildings (ex: Bldg. A, B or 1, 2) so emergency responders know where to go in case of an emergency call.
9. Prior to issuance of a Certificate of Occupancy, the City will review these conditions to ensure the Applicant has fully complied with them.

ENGINEERING CONDITIONS

1. Within twenty (20) calendar days after all improvements have been constructed and approved by the City, the Applicant shall submit to the City of Chowchilla Engineering Division one PDF file on CD and one black and white copy of the

approved set of construction plans revised to reflect all field revisions and marked "AS-GRADED/AS-BUILT".

2. The Applicant shall comply with and be responsible for obtaining encroachment permits from the City of Chowchilla for all work performed within the City's right-of-way.
3. The Applicant shall install all off-site improvements in accordance with the City of Chowchilla standards and specifications, and requirements set forth by the City Engineer, for those portions within the City's right-of-way.
4. The Applicant shall be responsible for all actions of his/her contractors and subcontractors during the course of any work occurring on the site. The Applicant shall designate, in writing before starting work, an authorized representative who shall have complete authority to represent and to act for the Applicant. Said authorized representative shall be present at the site of the work at all times while work is actually in progress on the development. During periods when work is suspended, arrangements acceptable to the City Engineer shall be made for any emergency work which may be required. When the Applicant or his authorized representative is not present on any particular part of the work where it may be desired to give directions, orders may be given by the City Engineer which shall be received and obeyed by the person or persons in charge of the particular work in reference to which the orders are given. Whenever orders are given to the Applicant's representative or superintendent or foreman to do work required for the convenience and safety of the general public because of inclement weather or any other such cause, such work shall be done at the Applicant's expense.
5. The developer shall comply with all the requirements of the local utility (gas and electric), telephone, cable, and other communication companies. It shall be the responsibility of the developer to notify the local utility, telephone, cable, and other communication companies to remove or relocate utility poles where necessary. The City will not accept first submittal of improvement plans without proof that the developer has provided the improvement plans and documents showing all proposed work to the utility, telephone, cable, and other communication companies.
6. The developer shall submit a soils report or a waiver of soils report for approval by the City Engineer with the first submittal of the grading plan.
7. During the site construction, any public streets fronting the project shall be kept clear of any construction or landscaping debris and shall not be used as a storage area for equipment, materials, or other items.
8. The developer shall be responsible for all actions of his contractors and subcontractors during the course of any work occurring on the site. The developer shall designate, in writing before starting work, an authorized representative who

shall have complete authority to represent and to act for the developer. Said authorized representative shall be present at the site of the work at all times while work is actually in progress on the development. During periods when work is suspended, arrangements acceptable to the City Engineer shall be made for any emergency work which may be required. When the developer or his authorized representative is not present on any particular part of the work where it may be desired to give directions, orders may be given by the City Engineer which shall be received and obeyed by the person or persons in charge of the particular work in reference to which the orders are given. Whenever orders are given to the developer's representative or superintendent or foreman to do work required for the convenience and safety of the general public because of inclement weather or any other such cause, such work shall be done at the developer's expense.

9. The developer shall take all responsibility for his contractors and shall not allow them to work on, place debris on, store supplies or equipment on, or in any other way encroach upon any other properties without the written permission of such property owners. In the event other properties are encroached upon without written permission, work shall be automatically shut down until resolved.

Grading and Drainage

10. A Grading Plan will be required to provide adequate drainage & ADA compliance per City Standards.
11. ADA parking stall must show grades and transition from parking lot to concrete pad and designed per city standard M-2

Water

12. Provide utility plan to show municipal water services and connections to the city main.
13. No water service connection shall be made to the City of Chowchilla Water System until a bacteriological test report has been accepted by the City Engineer.

Sewer

14. Provide utility plan to show sewer services and connections to the city main.

Miscellaneous

15. Provide parking plan for new parking and ensure adequate design per City standards.
16. Provide trash enclosure per city standard M-18.

17. If the alley way is the plan for the entrance of the site, a commercial driveway must be installed and carried over to the existing sidewalk along the alley per City Standard ST-16.
18. If the alley way is the plan for the entrance of the site, the alley will need to be reconstructed along the property frontage in compliance with City Standard ST-8.
19. It shall be the responsibility of the developer to remove all existing structures, trees, shrubs, etc., that are within or encroaching on existing or proposed rights-of-way or easements. Existing street improvements shall be preserved, at the discretion of the City Engineer.
20. A deferment, modification, or waiver of any engineering conditions will require the express written approval of the City Engineer.



0 Feet 80

State foc
supermar

Taco Shop

Robertson Blvd

La Mexicana

S 14th St


S 14th St

Trinity Ave

S 15th St

Project Site

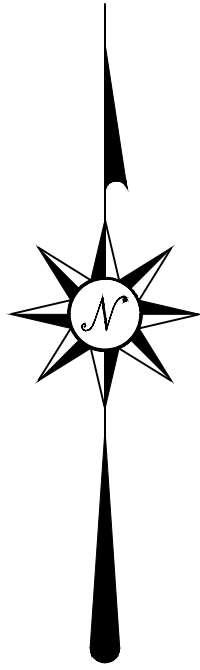
OK Sources: Kern County
ESRI MaxxSource, Microsoft Sources, Esri, TomTom, Garmin, FAO, NOAA

ABBREVIATIONS						PROJECT SCOPE		<div><div>VALLEY DRAFTING & DESIGNS</div><div>Pedro Reyes Designer/Draftsman 259 El Portal Dr. Merced, CA 95340 Cell: 209-386-2795 valleydraftingdesigns@gmail.com</div><div>X: _____</div><div>It is the clients responsibility prior to or during construction to notify the designer in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions such perceived errors or omissions shall be received from the designer prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.</div><div>STAMP:</div><div>CLIENT: JF FINISH CARPENTRY INC.</div><div>ROBERTSTON (2) DUPLEX BUILDINGS</div><div>TBD</div><div>CHOWCHILLA, CA</div></div>	
<div><div><div>AB. ANCHOR BOLT</div><div>ABV. ABOVE</div><div>ACOUST. ACOUSTICAL</div><div>A.C.T. ABOVE COUNTER TOP</div><div>ADJ. ADJACENT</div><div>A.F.F. ABOVE FINISHED FLOOR</div><div>ALUM. ALUMINUM</div><div>ALT. ALTERNATE</div><div>ANC. ANCHOR</div><div>AVG. AVERAGE</div></div><div><div>G. GAS</div><div>G.A. GALV.</div><div>G.C. GENERAL CONTRACTOR</div><div>GL. GLASS</div><div>G.L.B. GLU-LAM BEAM</div><div>GND. GROUND</div><div>GR. GRADE</div><div>GRDR. GIRDER</div><div>G.W.B. GYPSUM WALL BOARD</div></div><div><div>PART. PARTITION</div><div>PERF. PERFORATED</div><div>PRFB. PREFABRICATED</div><div>PKT. POCKET</div><div>PLT. PLATE</div><div>PLY. PLYWOOD</div><div>PNT. PAINT</div><div>PJT. PROJECT</div><div>P.T. PRESSURE TREATED</div></div></div>				GROUND UP CONSTRUCTION OF (2) DUPLEX BUILDINGS WITH A TOTAL OF (4) UNITS WITH PARKING SPACES					
				PROJECT DIRECTORY					
<div><div><div>BD. BOARD</div><div>B.F. BOTH FACES</div><div>BLDG. BUILDING</div><div>BM. BEAM</div><div>BLV. BELOW</div><div>BRG. BEARING</div><div>BTM. BOTTOM</div><div>BTWN. BETWEEN</div><div>BVL. BEVEL</div></div><div><div>H.B. HOSE BIB</div><div>H.D. HOLD DOWN</div><div>HDR. HEADER</div><div>HDWR. HARDWARE</div><div>HGR. HANGER</div><div>HORZ. HORIZONTAL</div><div>HT. HEIGHT</div><div>HTG. HEATING</div><div>H.W. HOT WATER</div></div><div><div>I.B. INFILTRATION BARRIER</div><div>INCL. INCLUDED/ INCLUDING</div><div>INFO. INFORMATION</div><div>INSUL. INSULATION</div></div><div><div>JST. JOIST</div><div>JT. JOINT</div></div><div><div>KIT. KITCHEN</div></div></div>				OWNER: JF FINISH CARPENTRY INC.					
<div><div><div>CAB. CABINET</div><div>C.F. CUBIC FEET</div><div>C.J. CONTROL JOINT</div><div>CAB. CEILING</div><div>CLR. CLEAR</div><div>CNTR. CENTER</div><div>CONC. CONCRETE</div><div>CONT. CONTINUOUS</div><div>CORR. CORRUGATED</div><div>CTR. CENTER</div><div>C.Y. CUBIC YARD</div></div><div><div>I.B. INFILTRATION BARRIER</div><div>INCL. INCLUDED/ INCLUDING</div><div>INFO. INFORMATION</div><div>INSUL. INSULATION</div></div><div><div>JST. JOIST</div><div>JT. JOINT</div></div><div><div>KIT. KITCHEN</div></div></div>				DRAFTSMAN: VALLEY DRAFTING & DESIGNS CONTACT: PEDRO REYES 209-386-2795 valleydraftingdesigns@gmail.com					
<div><div><div>DEMO. DEMOLITION</div><div>D.F. DOUGLAS FIR</div><div>DEMO. DIAMETER</div><div>DIM. DIMENSION</div><div>DWG. DRAWING</div><div>DW. DISHWASHER</div></div><div><div>LAM. LAMINATE</div><div>LAV. LAVATORY</div><div>L.F. LINEAR FOOT</div><div>L.L. LIVE LOAD</div></div><div><div>L. MASONRY</div><div>MAX. MAXIMUM</div><div>M.B. MACHINE BOLT</div><div>MECH. MECHANICAL</div><div>MFD. MANUFACTURED</div><div>MFR. MANUFACTURER</div><div>MIN. MINIMUM</div><div>MIR. MIRROR</div><div>MTL. METAL</div><div>MUL. MULLION</div></div></div>				BUILDING DESIGN CRITERIA					
<div><div><div>DIM. EACH</div><div>E.C. EROSION CONTROL</div><div>E.J. EXPANSION JOINT</div><div>ELECT. ELECTRIC/ELECTRICAL</div><div>EMER. EMERGENCY</div><div>ENCL. ENCLOSURE</div><div>EQUIP. EQUIPMENT</div><div>EQUIV. EQUIVALENT</div><div>ESMNT. EASEMENT</div><div>EXP. EXPOSED</div><div>EXT. EXTERIOR</div><div>EXIST. EXISTING</div></div><div><div>L. MASONRY</div><div>MAX. MAXIMUM</div><div>M.B. MACHINE BOLT</div><div>MECH. MECHANICAL</div><div>MFD. MANUFACTURED</div><div>MFR. MANUFACTURER</div><div>MIN. MINIMUM</div><div>MIR. MIRROR</div><div>MTL. METAL</div><div>MUL. MULLION</div></div></div>				PARCEL INFORMATION & ZONING SUMMARY ADDRESS: TBD APN: 002-021-003 BUILDING AREA SUMMARY: TOTAL BUILDINGS: 1,885x2 = 3,750 SF EACH UNIT = 942 SF PARKING AREA = 3,504 SF LANDSCAPING AREAS: 1,788 SF PARKING SPACES: 8 SPACES (1 VAN ACCESSIBLE INCLUDED)					
GENERAL NOTES				CODE COMPLIANCE		DRAWING INDEX			
<div><div>1. THESE DRAWINGS ARE THE PROPERTY OF VALLEY DRAFTING & DESIGN AND MAY BE REPRODUCED ONLY WITH WRITTEN PERMISSION. AUTHORIZED REPRODUCTIONS MUST BEAR THE NAME AND SIGNATURE OF THE DRAFTER.</div><div>2. ALL CONSTRUCTION AND DETAILS SHALL BE COMPLETED IN COMPLIANCE WITH THE 2022 EDITION OF THE CBC, CMC, CPC, AND CEC AS AMENDED BY THE STATE OF CALIFORNIA AND ALL OTHER APPLICABLE BODIES.</div><div>3. DO NOT SCALE THE DRAWINGS. DRAWINGS SCALES AS INDICATED ARE FOR REFERENCE ONLY AND ARE NOT INTENDED TO ACCURATELY DEPICT ACTUAL OR DESIGNATED CONDITIONS. WRITTEN DIMENSIONS SHALL GOVERN. SPECIFICATIONS SHALL GOVERN IN MATTERS OF MATERIALS OR FINISHES.</div><div>4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL FIELD CONDITIONS AND DIMENSIONS AS THEY RELATE TO THIS PROJECT. SHOULD DISCREPANCIES EXIST BETWEEN THE WORK INDICATED AND ACTUAL FIELD CONDITIONS, NOTIFY THE DRAFTSMAN PRIOR TO PROCEEDING WITH THE WORK.</div><div>5. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH SITE CONDITIONS AS THEY MAY AFFECT CARRYING OUT THE WORK AS DESCRIBED IN THESE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL INVESTIGATE, VERIFY, AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT, AND NOTIFY THE DRAFTSMAN OF ANY CONDITIONS THAT REQUIRE MODIFICATION BEFORE PROCEEDING WITH THE WORK.</div><div>6. CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF APPROVED PERMIT DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.</div><div>7. THE ABSENCE OF A DETAIL DESCRIBING A PARTICULAR METHOD OF CONSTRUCTION SHALL IMPLY THAT THE CONTRACTOR SHALL CONSTRUCT SAID DETAIL IN COMPLIANCE WITH INDUSTRY STANDARDS FOR THE TYPE OF CONSTRUCTION OF THE BUILDING.</div><div>8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITY LINES. LOCATIONS SHOWN ARE APPROXIMATE. REPAIR ALL DAMAGE TO UTILITY LINES CAUSED BY CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.</div><div>9. DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING NOISE, ODORS, DUST AND DEBRIS TO MINIMIZE IMPACTS ON SURROUNDING PROPERTIES AND ROADWAYS. HOURS AND DAYS OF CONSTRUCTION MAY BE LIMITED BY LOCAL ORDINANCE. CONTRACTOR SHALL VERIFY RESTRICTIONS AND COMPLY WITH ALL REQUIREMENTS.</div></div>				ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. 2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA ENERGY CODE (CENC) 2022 CALIFORNIA FIRE CODE (CFC) 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE 2022 CALIFORNIA REFERENCES CODE CURRENT CITY OF CHOWCHILLA CODES AND ORDINANCES		ARCHITECTURAL T1 - TITLE SHEET A1.1 - SITE PLAN A2 - FLOOR PLAN A3 - EXTERIOR ELEVATIONS L1 - PRELIMINARY LANDSCAPE PLAN			
TITLE 24 GENERAL NOTES				SPECIAL INSPECTIONS					
				NO SPECIAL INSPECTIONS REQUIRED					
				DEFERRED SUBMITTALS					
				T1					

ROBERTSON BLVD

14TH STREET

(E) ALLEY



LEGEND

- 4" CONCRETE FLATWORK w/ 6"x6"-10/10
WWM OV. 2" MIN 4" MAX DAMP CLEAN SAND @ 95%
R.C. OV. COMPACTED SUB-GRADE
- 6" VEHICULAR CONCRETE FLATWORK w/ 6"x6"-10/10
WWM OV. 2" MIN 4" MAX DAMP CLEAN SAND @ 95%
R.C. OV. COMPACTED SUB-GRADE
- ASPHALT PAVING
- PROPOSED LANDSCAPE AREAS
- PROPERTY LINE



VALLEY DRAFTING
&
DESIGNS

Pedro Reyes

Designer/Draftsman

259 El Portal Dr.

Merced, CA 95340

Cell: 209-386-2795

valleydraftingdesigns@gmail.com

X: _____

It is the clients responsibility prior to or during construction to notify the designer in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions such perceived errors or omissions shall be received from the designer prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

STAMP:

ROBERTSTON (2) DUPLEX BUILDINGS

TBD

CHOWCHILLA, CA

CLIENT: JF FINISH CARPENTRY INC.

REVISIONS:

DATE: 09/17/25

SCALE: 3/32"=1'-0"

DRAWN BY: PR

FILE NAME: 25-113

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

A1



VALLEY DRAFTING
&
DESIGNS

Pedro Reyes
Designer/Draftsman
259 El Portal Dr.
Merced, CA 95340
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STAMP:

ROBERSTON (2) DUPLEX BUILDINGS
TBD

CHOWCHILLA, CA

CLIENT: JF FINISH CARPENTRY INC.

REVISIONS:

DATE: 09/17/25

SCALE: 1/4"=1'-0"

DRAWN BY: PR

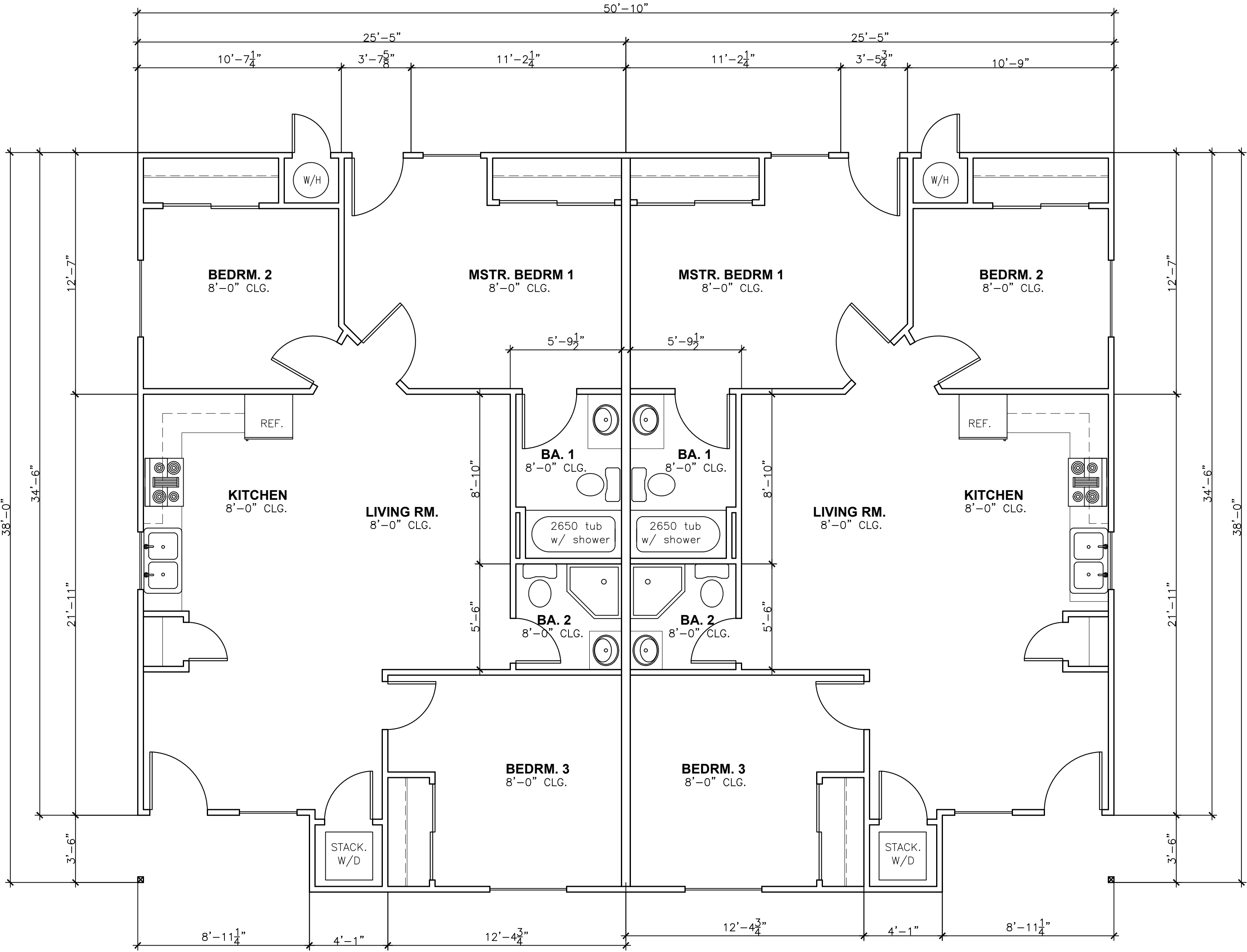
FILE NAME: 25-113

SHEET TITLE:

FLOOR PLAN

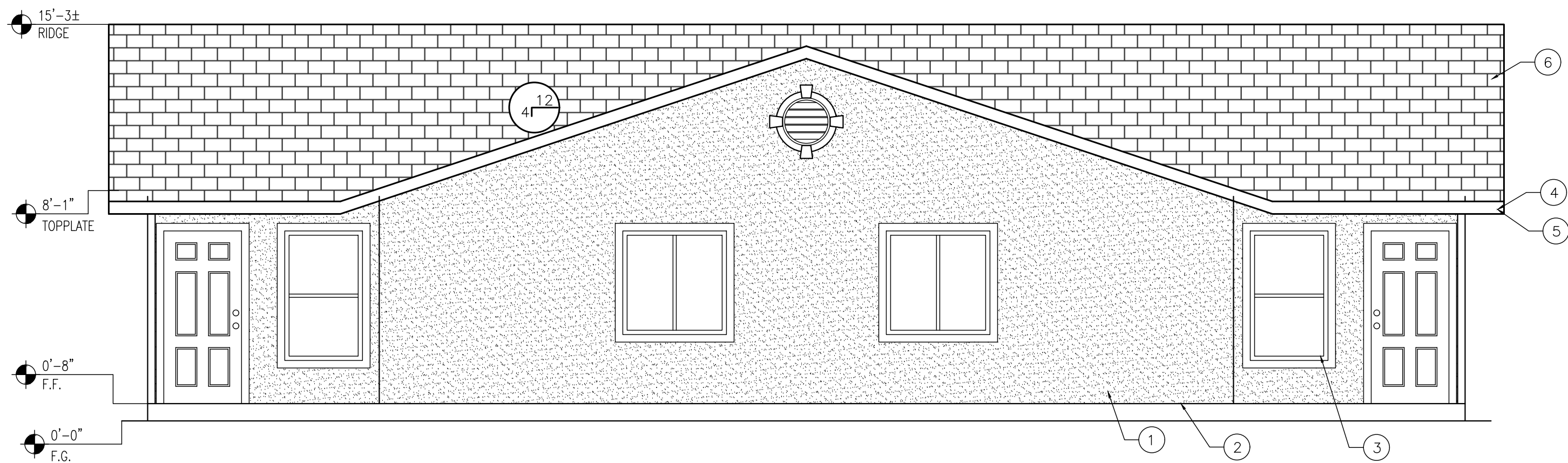
SHEET NUMBER:

A2



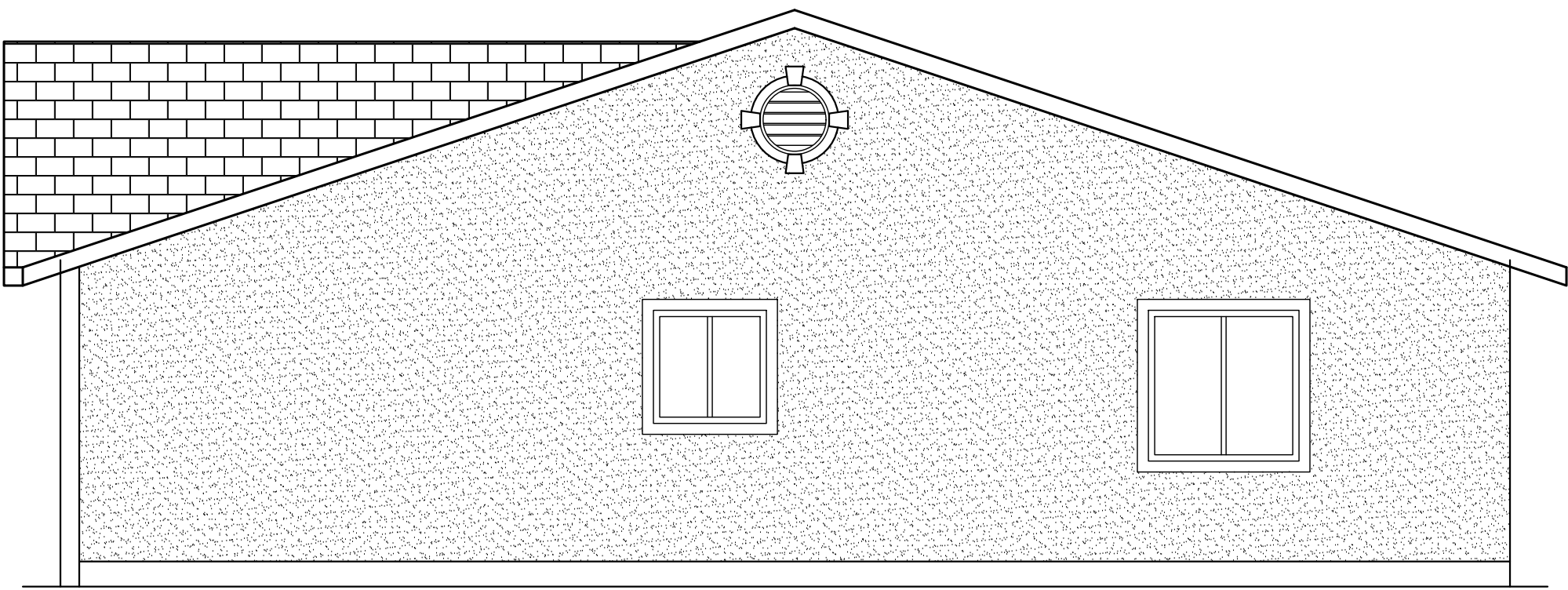
FLOOR PLAN

SCALE: 1/4"=1'-0"
942 S.F. EACH UNIT



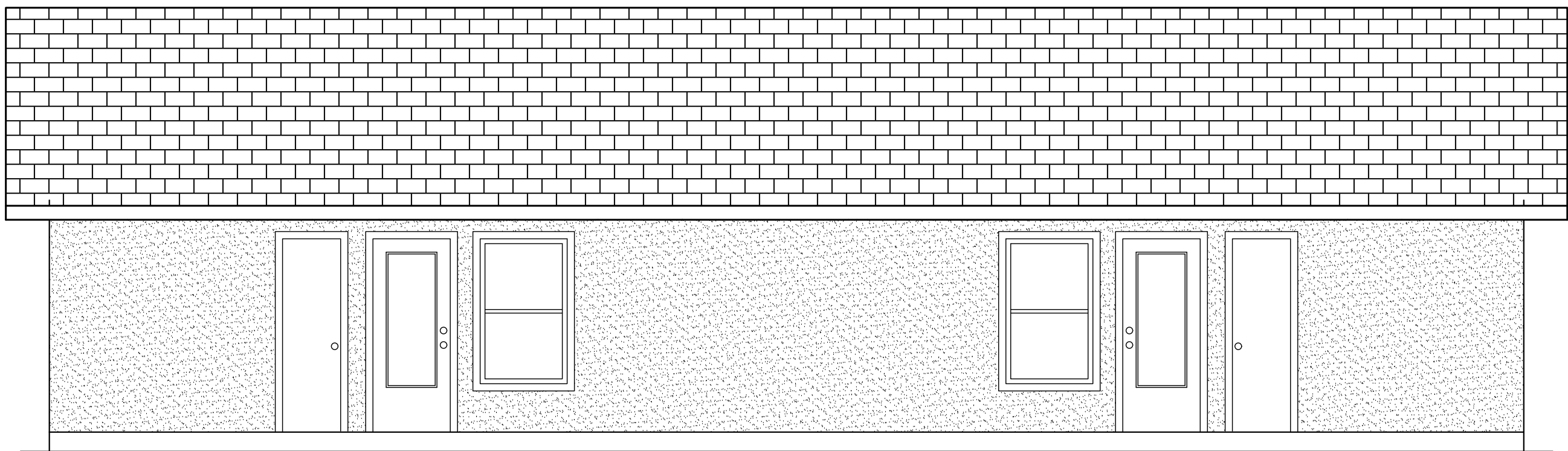
FRONT ELEVATION

SCALE: 1/4"=1'-0"



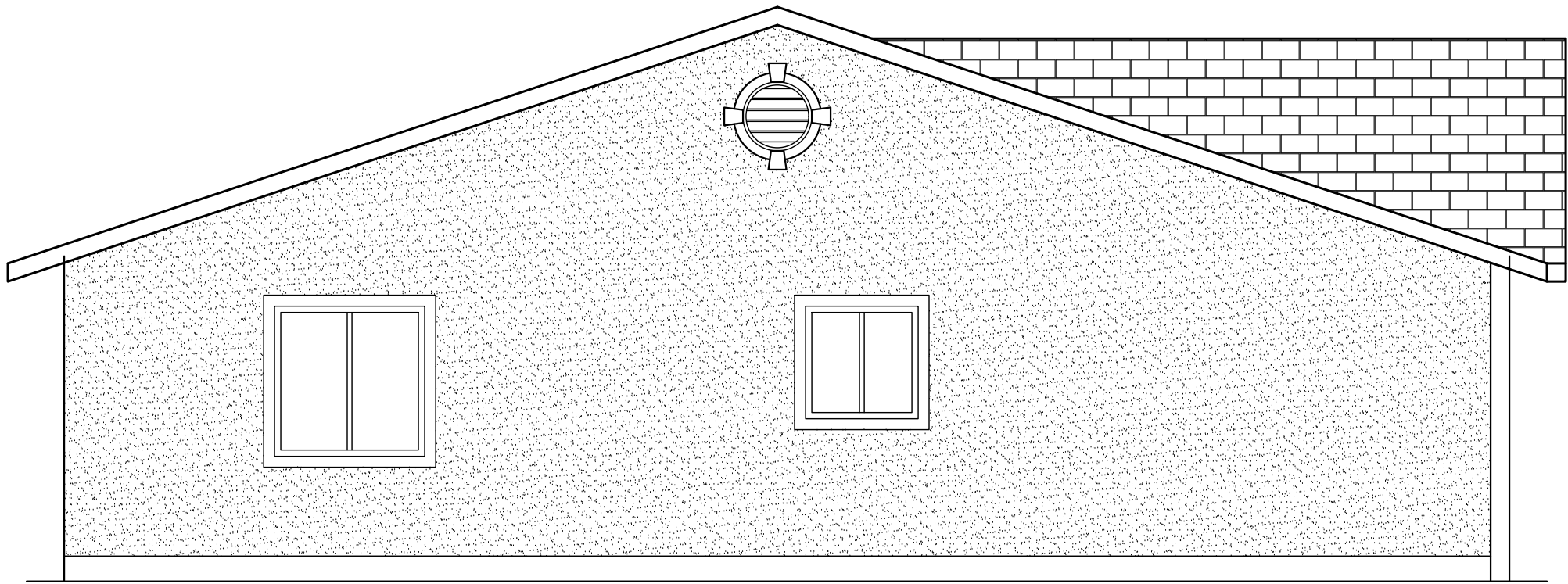
RIGHT ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"

NO.

ELEVATION KEYNOTES

- 01 3-COAT STUCCO OVER CORROSION-RESISTANT LATH OVER (2) LAYERS OF GRADE D # 15 BUILDING PAPER PER (R703.7)
- 02 LA HABRA FAST WALL 300 OR APPROVED EQUAL
- 03 CORROSION RESISTANT WEEP SCREED AT BASE OF STUCCO (R703.7.2.1)
- 04 PROVIDE FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS PER (R703.4.1) TYP.
- 05 INSTALL GUTTERS AND DOWNSPOUTS WHERE APPLICABLE
- 06 2"x6" FASCIA BOARD
- 07 30 YEAR DIMENSIONAL COOL ROOF COMP SHINGLES OV. 1 LAYER 30LB FELT INSTALL PER MANUFACTURES SPECS AND (R905.2)
- 08 18"x24" GABLE VENT



VALLEY DRAFTING & DESIGNS

Pedro Reyes

Designer/Draftsman

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Merced, CA 95340

Cell: 209-386-2795

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X: _____

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STAMP:

CLIENT: JF FINISH CARPENTRY INC.

ROBERTSTON (2) DUPLEX BUILDINGS

TBD

CHOWCHILLA, CA

COLOR PALETTE

A EXTERIOR STUCCO
PAINTED: SHERWIN WILLIAMS
COLOR: "SUMMIT GRAY"
SW 7669

B TRIM
PAINTED: SHERWIN WILLIAMS
COLOR: "EXTRA WHITE"
SW 7006

C ACCENT
PAINTED: SHERWIN WILLIAMS
COLOR: "GREENBLACK"
SW 6994

D ROOF - ARCHITECTURAL ROOF SHINGLES
COLOR: ONYX BLACK
"OWENS CORNING OAKRIDGE"

REVISIONS:

DATE: 09/17/25

SCALE: 1/4"=1'-0"

DRAWN BY: PR

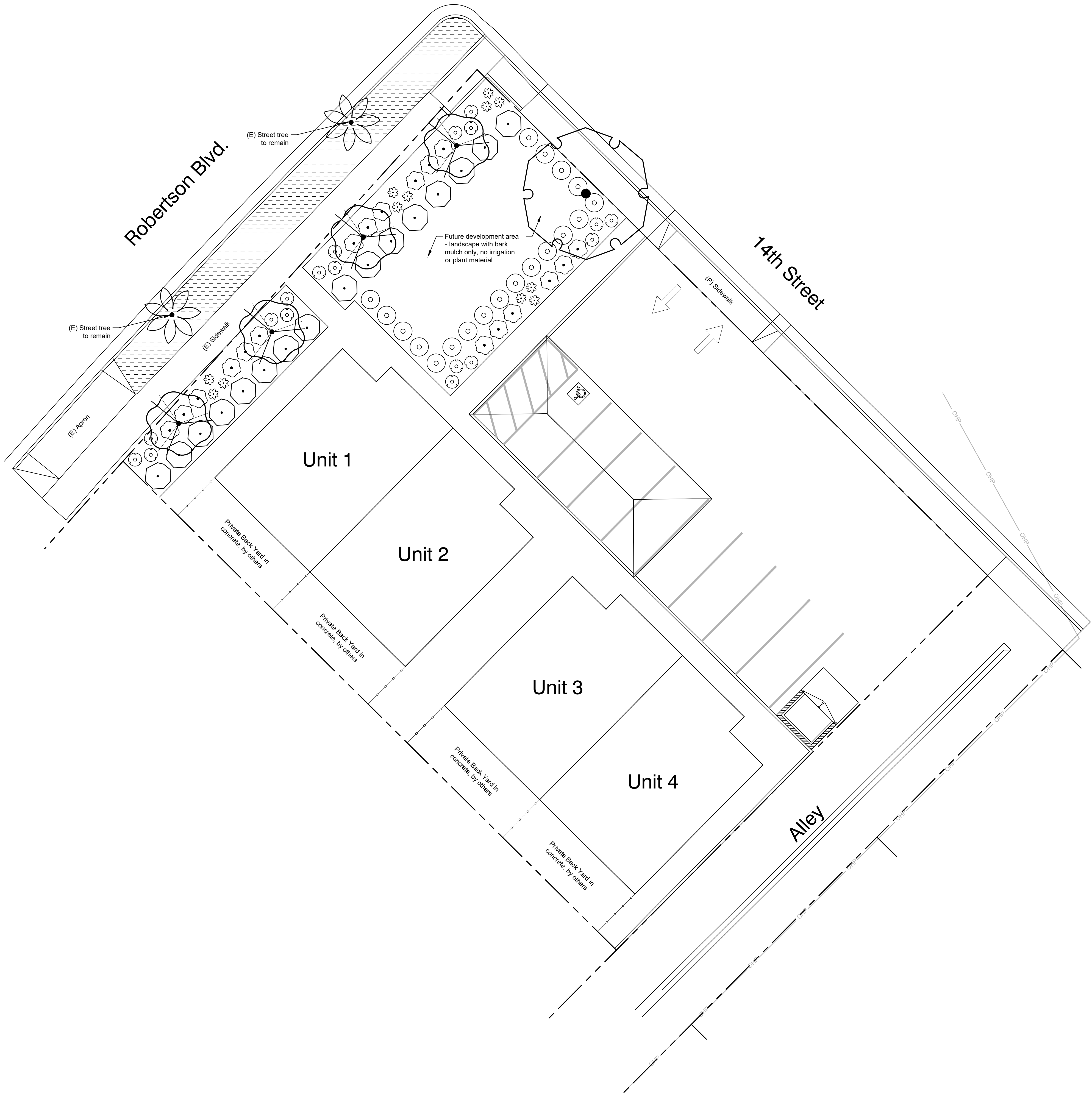
FILE NAME: 25-113

SHEET TITLE:

EXTERIOR ELEVATIONS

SHEET NUMBER:

A3



Planting Legend:						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS	QTY
TREES						
	Lagerstroemia indica x fauriei `Natchez`	Natchez Crape Myrtle	15 gal.	per plan	L	4
	Pistacia chinensis `Keith Davey`	Keith Davey Chinese Pistache	15 gal.	per plan	L	1
SHRUBS						
	Hesperaloe parviflora `Perpa` TM	Brakelights Red Yucca	1 gal.	2.5`	L	12
	Olea europaea `Little Ollie` TM	Little Ollie Olive	5 gal.	5`	L	16
	Rhaphiolepis umbellata `Minor`	Dwarf Yedda Hawthorn	5 gal.	4`	L	19
	Salvia leucantha `Santa Barbara`	Santa Barbara Mexican Bush Sage	5 gal.	4.5`	L	18
	Santolina virens	Green Lavender Cotton	1 gal.	3`	L	18
GROUND COVERS						
	Myoporum parvifolium	Trailing Myoporum	1 gal.	4`	L	48

- Planting Notes:**
- Before beginning work, Contractor shall inspect the site. If any conditions existing that differ from what is shown on the plans and will affect Contractor's work, notify the owner or Landscape Architect immediately.
 - When fine grading, Contractor is to be sure that water cannot pool against buildings or fences.
 - The Contractor shall furnish the City and owner with a landscape soils report from A&L Western Lab in Modesto (209) 529-4080, or equal. The Contractor is to follow the recommendations in accordance with the Model Water Efficiency Landscape Ordinance. All landscape areas are to be amended with compost (9 yards per 1,000 square feet, or approximately 3" deep) before planting. Rototill all planting areas at least 9" deep. Soil amendments and fertilizer shall be based on the soil fertility test and the recommendations from the reputable soil testing laboratory.
 - Contractor to submit 2 photos of each plant (photo of entire plants, plus close-up of plant tag) to the Landscape Architect for approval prior to installation.
 - Weed and weed seeds, both existing and potential, are to be addressed at all planting areas. Contractor to use a pre-emergent herbicide throughout the entire project area. All additives and herbicides selected must be safe for animals and young children. If any concerns arise, Contractor is to bring them to the attention of the Landscape Architect or Owner.
 - Place 3" of brown bark chip mulch in all planting areas. Replenish the mulch at the end of the maintenance period so that there it is at least 3" deep.
 - Trees with cut or broken central leader shall be rejected.
 - All plant material is to be of the highest quality, in healthy condition, and of a size expected of the species and container size.
 - Wherever trees are within 5' of a curb or paved surface, root barriers are to be used. The root barrier is to be installed linear against the curb or walk at 1" below adjacent finished grades. The gap between the barrier and paved surface shall be backfilled with soil. Use five 24" wide, 18" deep DeepRoot panels at each paved surface, centered on the tree.
 - Contractor to verify quantities listed. Plant quantities are provided as a convenience only. If there is a discrepancy between the quantities provided and what is shown on the plans, then Contractor is to refer to the plans.
 - Add OMRi - certified fertilizer tablets to each tree or shrub when planting in the following quantities:
1 gallon - 1 tablet, 5 gallon - 3 tablets, 15 gallon - 5 tablets, 24" box - 7 tablets
 - The backfill mix for tree and shrub pits must use the following: 1 part compost to 2 parts native soil.
 - Contractor is responsible to notify the City prior to work commencement and to set up an inspection schedule.
 - Contractor is to maintain all landscape work for 60 days after the landscape has been accepted by the City of Chowchilla.
 - All work is to be guaranteed by the installing Contractor for one (1) full calendar year after acceptance by Owner unless specified otherwise.

Compliance Statement:
I have complied with the criteria of the Model Water Efficient Landscape Ordinance and applied them accordingly for the efficient use of water in the landscape design plan.

Revisions:

Linda Fish
Landscape Architect
linda@fishlandscape.com
(209) 656-7177
PLA #4346

Preliminary
Landscape Plan

Robertson Duplexes

Robertson Blvd.
Chowchilla, CA

Scale:
1"=10'-0"

Date:
10-10-25

Drawn:
LF

Sheet Number:

L1

To: Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044
County Clerk
County of: Madera
200 W. 4th Street
Madera, CA 93637

From: (Public Agency): City of Chowchilla
130 S. 2nd Street
Chowchilla, CA 93610
(Address)

Project Title: Conditional Use Permit No. 250480

Project Applicant: Jeff Farias

Project Location - Specific:

south corner of Robertson Boulevard and S. 14th Street (APN 002-021-003)

Project Location - City: Chowchilla Project Location - County: Madera

Description of Nature, Purpose and Beneficiaries of Project:

See attached.

Name of Public Agency Approving Project: City of Chowchilla

Name of Person or Agency Carrying Out Project: City of Chowchilla

Exempt Status: (check one):

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
☒ Categorical Exemption. State type and section number: 15303(b) and 15332
☐ Statutory Exemptions. State code number: _____

Reasons why project is exempt:

See attached.

Lead Agency
Contact Person: Denise Munoz Area Code/Telephone/Extension: 559.665.8615 ext. 400

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project? • Yes No

Signature: Denise Munoz Date: 10.14.25 Title: Community Development Director

• Signed by Lead Agency Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR: _____

PROJECT DESCRIPTION AND LOCATION Rebecca Martinez, Madera County Clerk-Recorder

The proposed Project is located on an approximately 13,068 square-foot parcel (Assessor's Parcel Number [APN] 002-021-003), located in Section 30, Township 9S, Range 16E, Mount Diablo Base & Meridian (MDB&M), within the city limits of the City of Chowchilla, Madera County. The Project site is generally located at the south corner of Robertson Boulevard and S. 14th Street.

The Project proposes the development of two residential duplex buildings. The duplexes will be approximately 1,885 square feet each; approximately 3,750 square feet of new building space. Development of the site would also include associated utility connections, landscaped areas, seven standard parking spaces and one American with Disability Act (ADA) accessible parking space, trash enclosures, and a driveway.

EXEMPTION

Class 3, Section 15303: *New Construction or Conversion of Small Structures* consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure.

Section 15303(b) A duplex or similar multi-family residential structure, totaling no more than four dwelling units. In urbanized areas, this exemption applies to apartments, duplexes or similar structures designed for not more than six dwelling units.

- Class 32 Section 15332: *In-Fill Development Projects* consist of in-fill development meeting the conditions described below:
 - a. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
 - b. The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
 - c. The project site has not value as habitat for endangered, rare or threatened species.
 - d. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
 - e. The site can be adequately served by all required utilities and public services.

REASONS WHY PROJECT IS EXEMPT

Class 3, Section 15303(b):

As described, the Project proposes the development of two duplex units, totaling four dwelling units on an undeveloped parcel of land. The Project meets the criteria of this exemption.

Class 32 Section 15332

This Project is considered infill development. Surrounding land uses include commercial development to the north and west, and residential uses to the south and east. Pursuant to City's General Plan Land Use Map, the Project site is zoned Medium Density Residential and zoned R-M-5 (Medium Density Residential). Under the City Municipal Code, Title 18 *Zoning Ordinance*, multi-family dwelling, two units per building is a permitted use pursuant to approval of a Conditional Use Permit (CUP). Therefore, with the approval of a CUP, the Project would be deemed consistent with General Plan land use designation and zoning classification. The Project would be required to develop

the site in accordance with development standards as adopted in Chapter 18.12 of the Zoning Ordinance and adopted Building Code requirements.

The Project site is located within an urban area of the City with existing development directly adjacent to the site. As such, the Project site has no value as habitat for endangered, rare, or threatened wildlife species. Based on the General Plan, there are no historical or cultural resources known on or near the site, and none are anticipated to be negatively impacted by site development. The City does not contain an identified Caltrans State Scenic Highway or eligible scenic highway.

Pursuant to the California Department of Toxic Substances Control (DTSC), Envirostor online database, the Project site does not contain a listed hazardous material or waste facility or cleanup site (California Department of Toxic Substances Control, 2025). Additionally, per the State Water Resources Control Board, Geotracker online database, the Project site does not contain a leaking underground storage tank cleanup site or any other cleanup activities (State Water Resources Control Board, 2025).

As noted above, the Project is designated and zoned for medium density residential. The Project does not propose a change from those designations and will develop the site consistent with its land use designation and zoning.

With regard to traffic generation, the Project would result in four new dwelling units in an area planned for medium density residential. The trips and VMT generated from the Project would be minimal. Under San Joaquin Valley Air Pollution Control District (SJVAPCD) *Guidance for Assessing and Mitigating Air Quality Impacts* (GAMAQI), the SJVAPCD has determined that a project that does not exceed applicable thresholds would have a less than significant impact on criteria pollutants. For single-family residences, the threshold is 155 dwelling units, for low-rise apartments the threshold is 224 dwelling units and for condominiums/townhomes the threshold is 256 dwelling units. In considering the above thresholds, the Project is well below the screening thresholds and can be seen to have minimal impacts to air quality and criteria pollutant generation. Project construction would be subject to applicable development requirements including City Municipal Code requirements for construction standards related to noise generation and stormwater retention/diversion. Therefore, it can be determined that the Project is consistent with the findings of the General Plan and no new significant effects relating to traffic, noise, air quality, and water quality would occur as a result of the Project.

CONCLUSION

The Project will provide four additional dwelling units and meets criteria for both the Class 3 and Class 32 Categorical Exemptions. As discussed above, the Project would not result in a significant environmental impact, therefore, the Project is consistent with the provisions of a Class 3 and Class 32 Categorical Exemption as per Section 21084 of the Public Resources Code.